



# GRANDEUR

GREENVALE

## DESIGN GUIDELINES

MAY 2021



# *An Address of Distinction*

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# 1.0 INTRODUCTION.

Welcome to your new address of distinction – Grandeur.

This exclusive project has nine meticulously planned lots fronting a private road offering the comfort and security of a private community.

Grandeur has been designed to complement the environment, including the remarkable River Red Gums which date back over 200 years. Each of the grand lots has been positioned to provide a sense of stature, offering a variety of distant view lines, not to mention the impressive landscape backdrop of the splendid Woodlands Historic Park.

The Design Guidelines contained in this document aim to ensure your investment within Grandeur is protected for the long term. All nine lots within the estate must accord with the guidelines which have been carefully crafted with the assistance of Finnis Architects and Hamilton Landscape Architects, two highly regarded architecture firms in their fields in Melbourne.

The developer of Grandeur – Harper&Cooper, is committed to providing unrivalled high quality projects throughout Australia.

Situated in the Melbourne suburb of Greenvale, Grandeur is surrounded by amenities such as schools, shopping centres and backing onto the beautiful Woodlands Historic Park.



# 1.1 ABOUT THE DESIGN GUIDELINES.

Specific safeguards have been implemented by the developer in the form of design guidelines, in order to achieve a high quality of design and construction. These guidelines are intended to protect the interests of all residents and assist in achieving the desired outcome for the community. Encouraging all homes within Grandeur to be of a consistently high standard and promote harmony between built form and nature.

# 1.2 DEVELOPER APPROVAL.

Approval is required from the Design Review Committee (DRC) for the construction of all dwellings, garages, retaining walls, fences, sheds, ancillary items and any other structures on any allotment within Grandeur.

Upon receiving approval from the DRC, the applicant must then obtain a Building Permit from Hume Council or an independent Building Surveyor.

The DRC will assess all designs and if they are compliant with the Design Guidelines, provide a letter of approval along with an endorsed copy of the house plans and external colour selection.

If the design submission does not comply with the Design Guidelines, the DRC will advise the applicant on the areas of non-compliance and the required amendments. Applicants will then be required to submit amended plans in order to gain approval.

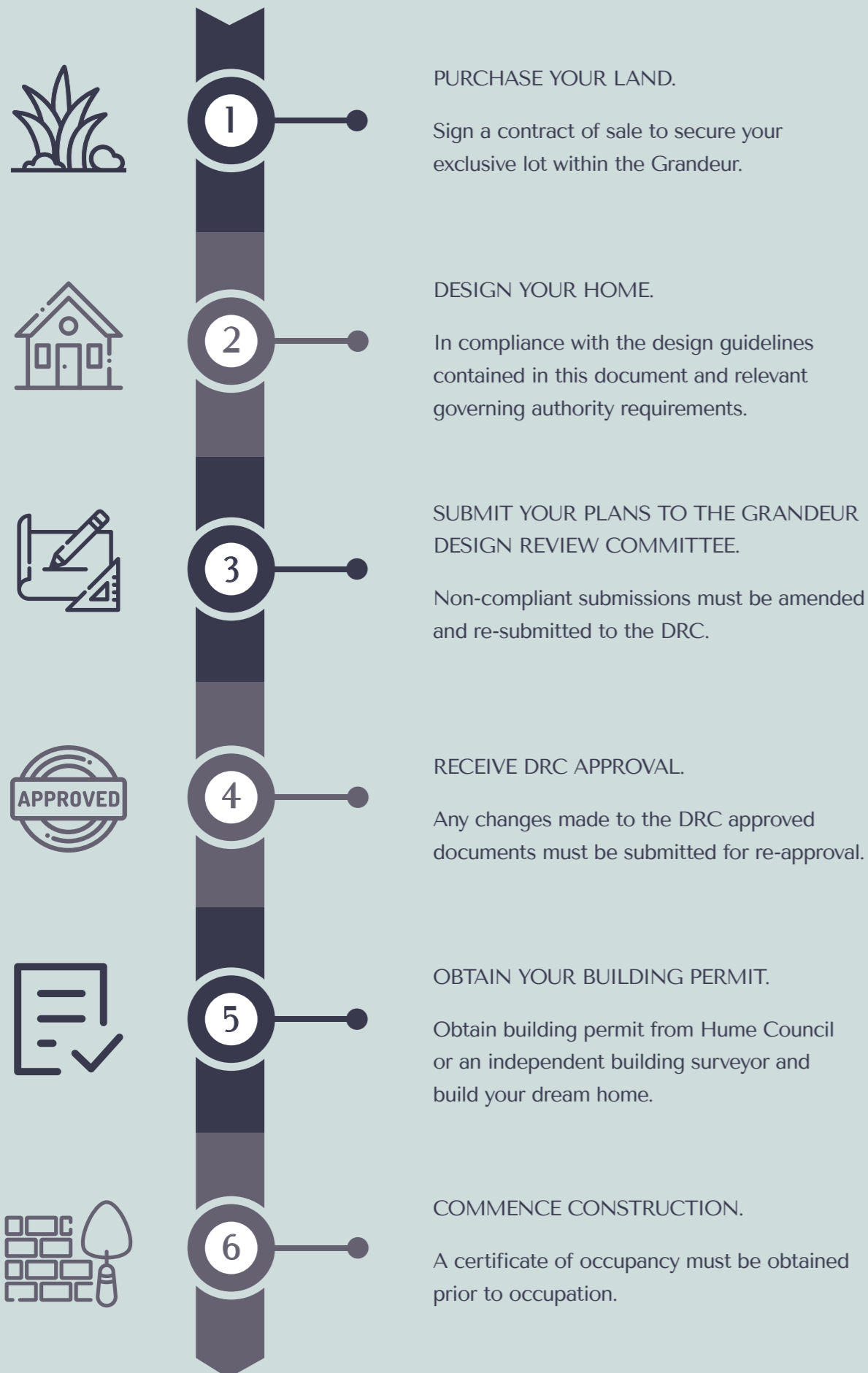
The DRC will endeavour to assess proposals in the shortest possible time which is generally within 10 business days of receipt of a complete and compliant application.

The design guidelines may be amended from time to time at the Developers discretion to reflect changes in design and building trends and/or amendments to legislation affecting building approvals.

Applications will be assessed against (and must comply with) the current version of the design guidelines. The final decision regarding all aspects of the design guidelines will be at the discretion of the DRC. The DRC also reserve the right to waive or vary any requirement of the design guidelines.

Upon receiving approval from the DRC, the applicant must then obtain building approval for the dwelling from the Local Council/independent building surveyor and/or any other governing authority. It is the responsibility of the applicant to ensure all proposed works meet relevant Authority requirements and to ensure that the required permits are obtained.

## 1.3 HOME APPLICATION PROCESS



## 1.4 ABOUT THE GRANDEUR DESIGN REVIEW COMMITTEE.



Shelton Finnis are dedicated to the high quality home market, and have been assisting clients in Australia for 20 years. They established their design guideline and administrative process in 1998 and have since been responsible for managing the growth of a vast array of estate and community developments. Serving as reassurance for land purchasers and builders alike, while providing supervision in order to maintain a high quality built form. Helping to achieve the vision and lifestyle intended for this prestigious development.



Hamilton Landscape Architects are an award winning and highly regarded landscape architect firm in Melbourne. Hamilton Landscape Architects have designed the landscaping of the entry and private roadway. The guidelines developed by Hamilton Landscape Architects provide assurance that areas external to the home are designed and maintained to blend with the theme of Grandeur and natural existing beauty that surrounds each lot.



Harper & Cooper is an innovative, contemporary developer driven by a bold commitment to design aesthetic architecture that is appealing and timeless. Our meticulous approach to all our development projects ensures that we meet our philosophy and vision to consistently deliver an end product of 'unrivalled beauty'.

The Harper & Cooper development team, has significant experience in delivering high quality developments for all stages of life, both in Melbourne and overseas.

## 1.5 THE DESIGN REVIEW PROCESS.

### STEP 1

The owner and their architect/s should review the Contract of Sale and building regulations stipulated by Hume Council and the Grandeur Design Guidelines prior to preparation of dwelling and landscape plans.

### STEP 2

The design plans must be lodged with the Design Review Committee (DRC) for approval.

The following documents must be included in the application:

- Site Plan 1:200 scale
- Floor plans 1:100 scale
- Elevations from all sides 1:100
- Roof plan (including pitch) 1:100 scale
- Schedule of external materials, finishes and colours
- Landscape Plan 1:200 scale

### STEP 3

The DRC will endeavour to assess proposals and respond to the plans within 10 working days of receipt of a complete application. The Committee will either approve the plans, suggest modifications that will satisfy approval, or reject the plans explaining the grounds for rejection.

Send your application in PDF format via email to:  
[grandeur@sheltonfinnis.com.au](mailto:grandeur@sheltonfinnis.com.au)

### ARCHITECT APPOINTMENT

Both Shelton Finnis and Hamilton Landscape Architects can provide plans for purchasers within the Estate which can then be signed off by a representative of Harper & Cooper.

Contact details for Shelton Finnis and Hamilton Landscape Architects have been provided below:

Alexandra Stott  
Shelton Finnis  
P. 03 9699 2133  
E. [alex@sheltonfinnis.com.au](mailto:alex@sheltonfinnis.com.au)

Paul Hamilton  
Hamilton Landscape Architects  
P. 03 9348 2800  
E. [office@hla.net.au](mailto:office@hla.net.au)

Note: The Architecture Review Committee can provide approval to commence building works conditional upon settlement of your Lot. Conditional approval will allow you to obtain all necessary permits and approvals from the relevant authorities but will not allow you to commence any building works on the Lot.

## 1.6 APPLICATION CHECKLIST.

### SITE PLAN (SCALE 1:200)

- North arrow
- Setbacks
- Site contours and levels
- Finished floor levels and site levels
- Site boundary
- All proposed driveways/paths (including materials)
- Construction management
- Site coverage and permeability
- Location of services as applicable (eg. hot water service, water tanks, air conditioning)
- Location of outbuildings
- Fencing details (location, material, height)

### FLOOR PLAN (SCALE 1:100)

- Key dimensions
- Internal layout
- Floor areas

### ELEVATIONS (SCALE 1:100)

- Natural ground level (NGL)
- Site cut/fill
- Finished Ground level
- Overall wall and building heights (from NGL)
- Roof pitch and eave dimensions
- Location of services
- Fence line

### SCHEDULE OF EXTERNAL MATERIALS, FINISHES AND COLOURS

- Facade materials
- Facade colours including brand and colour name
- Roof colour and materials
- Front door/garage door finish colour
- Window frame finishes and colour
- Letterbox image, material and colour

### LANDSCAPE PLAN (SCALE 1:200)

- North arrow
- Site base plan
- Established tree locations, species, type and spread
- Tree Protection Zones
- Location and symbols of proposed planting and trees
- Planting schedule listing species, density, height, spread, pot size
- All proposed driveways and paths (including materials)
- Location of services (eg. clothes lines, hot water system etc)
- Ground covers (eg. lawn, mulch, pebbles etc)
- Location of bin storage
- Location and dimensions of mailbox

## 2.0 DESIGN GUIDELINES.

### 2.1 BUILT FORM.

#### OBJECTIVE

To promote high quality architectural design and to discourage volume builder product.

#### REQUIREMENTS

- Buildings should meet all relevant building codes in addition to these guidelines.
- Built form should sit comfortably within the urban landscape and complement the surrounding environment offered by Grandeur.
- With the exception of Lots 1 and 2, homes should be oriented towards the street to promote a street presence.
- Overall building height must not exceed 10m in height (inclusive of the roof line).
- Garages must be connected to the home and to be designed to ensure that they are not a dominant feature to the streetscape.
- Garages must not protrude beyond the front facade of a dwelling and the width must not dominate the building frontage. Underground car parks are encouraged and the topography of the Estate may enable underground options.
- Carports are not permitted.
- Outbuildings should be located to the rear of the dwelling and must not be visible from the streetscape.
- Without exception, one only habitable dwelling per lot will be constructed. Lots must not be subdivided.
- Single storey dwellings must have a minimum front façade height of 5m (excluding roof line).
- For double or triple story dwellings, the highest level must be at least 20% of the ground floor area.



Artist Impression



Artist Impression

## 2.2 ARCHITECTURAL CHARACTER.

### IDENTICAL FACADES

Dwellings with identical or overly similar front facades shall not be built within the estate. It will be at the discretion of the DRC to determine the similarity of front facades and which lots are affected.

### DWELLING DESIGN

#### OBJECTIVE

To ensure buildings contribute positively to Grandeur Close by using a variety of external finishes and creating interesting and highly articulated facades.

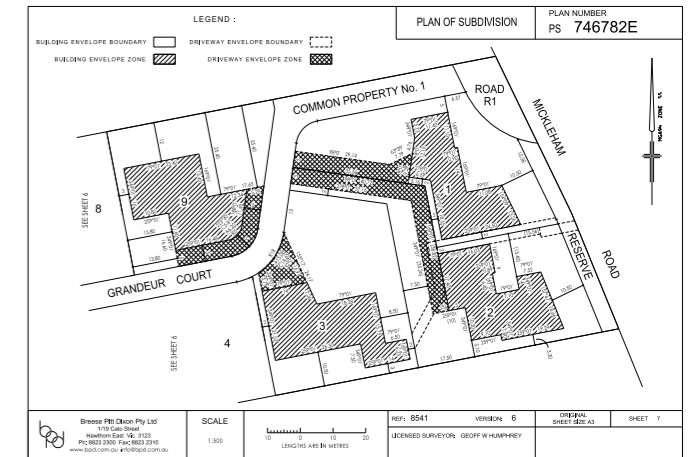
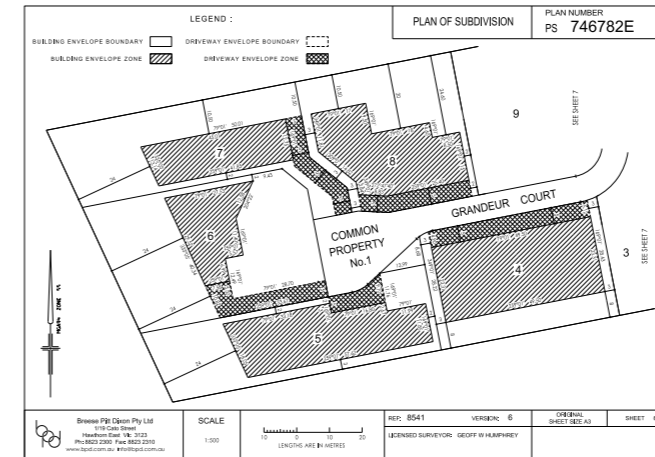
#### REQUIREMENTS

- Front elevations must display a contemporary character. Consideration should be given to design characteristics such as modern clean line forms, interplay of masonry walls, blade columns and parapets combined with skillion or curved roof forms.
- Any one material should not be used on more than 70% of the dwelling facade.
- Double or triple storey buildings should utilise a contrasting colour and/or finish between levels.
- Double or triple story dwellings must demonstrate articulation between levels. It is preferred that upper floors are setback further than ground floor to reduce the dominance of dwellings on sloped sites, unless they are used to recess a lower level garage facade.
- The use of protruded spaces such as porticos and verandahs are encouraged.
- It is recommended that dwellings include a covered porch with a minimum 1.5m depth.
- Colours and materials should comprise of subdued earthy tones.
- All dwellings, particularly double or triple story designs which incorporate living areas and balconies, should be designed to minimise overlooking and overshadowing of neighbouring properties.



## 2.3 SETBACKS.

Building envelopes have been specifically designed for each lot. These building envelopes indicate the area on each lot where a building can be sited which make allowance for the tree protection zones on each lot. They have been designed to enforce appropriate setbacks and promote passive surveillance while maintaining sufficient privacy from the street and adjoining properties. Setbacks must comply with the envelopes detailed on the Plan of Subdivision.



## 2.4 ROOF LINES.

#### OBJECTIVE

To ensure roof designs are complimentary to the streetscape, are contemporary in nature and do not dominate the skyline.

#### REQUIREMENTS

- Roof materials may be constructed in metal roof sheeting or slate tile material with minimal reflectivity, to avoid adverse glare impact on neighbouring properties.
- The use of skillion roofs are permitted. Flat roofs are acceptable provided they enhance the architecture amenity of the building.
- Parapet walls are encouraged to utilise shading structures above windows if facing north or west for sun protection.
- Air conditioning units mounted on roofs, antennas and satellites should not be visible from a standing height of 1.7m where the property meets Grandeur Close.
- Any pitched roof must include minimum 450mm eaves to all elevations (unless concealed by a parapet).

## 2.5 DRIVEWAYS & PATHS.

#### OBJECTIVE

To increase permeable areas and maintain space for landscaping to soften hard surfaces.

#### REQUIREMENTS

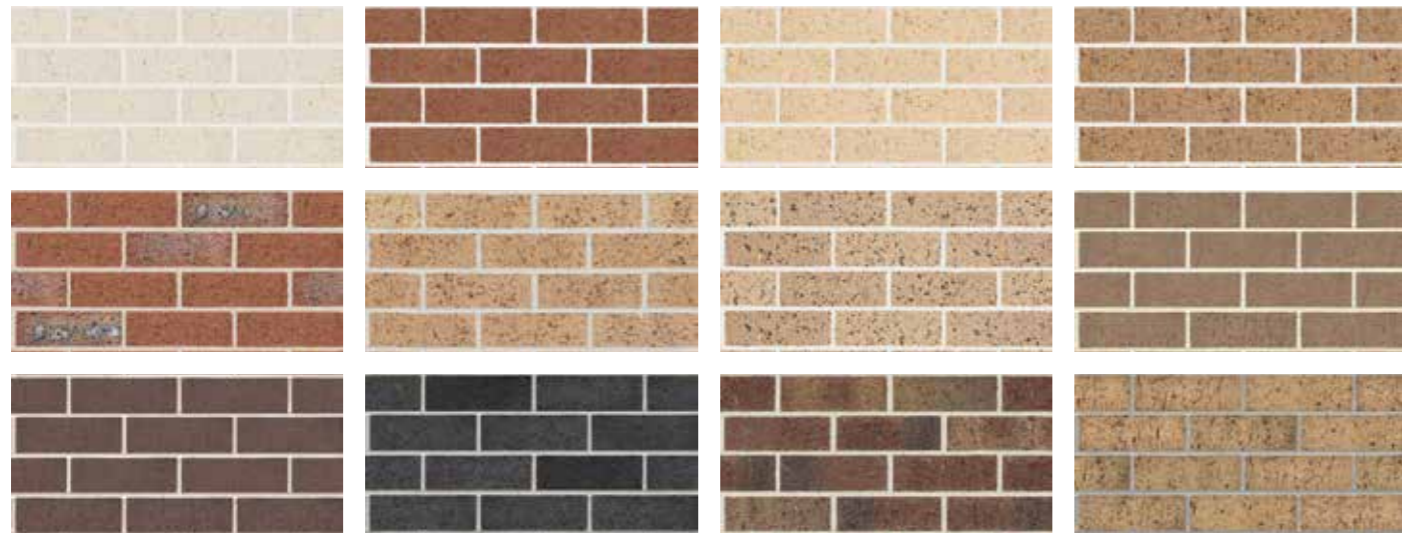
- One crossover is provided per lot. Circular driveways are only possible on lots 4, 8 and 9.
- Driveways must be a maximum of 3m wide.
- Pedestrian paths of permeable materials should be incorporated in landscape plans to provide formal access to the dwelling entrance.
- It is encouraged to construct driveways in permeable pavement systems such as resinous aggregate or gravel. This is preferable to allow water infiltration into plant root zones and discourage extensive areas of concrete.
- The driveway must complement the overall design of the dwelling. Other acceptable driveway finishes are: exposed aggregate, pavers or patterned coloured concrete. Plain coloured concrete is not permitted.
- Soft lighting of driveways and paths are encouraged.

## 2.6 EXTERNAL COLOURS & MATERIALS.

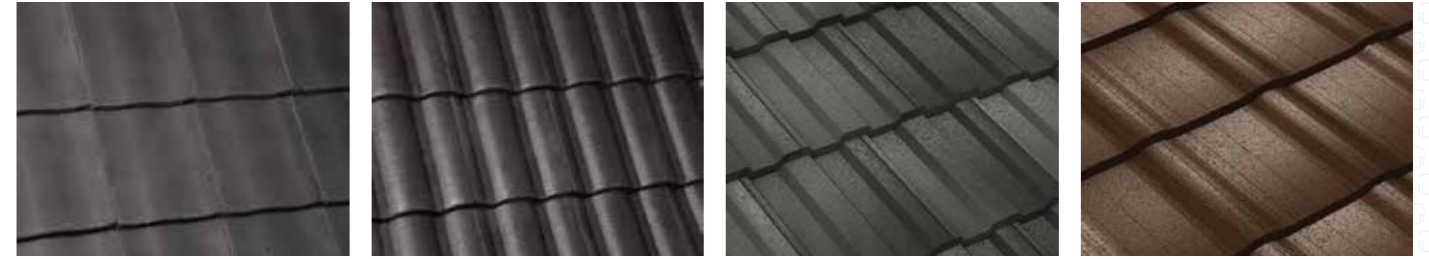
Rendering is preferred for external finishes. The following example colours can be selected for external renders:



The following example colours can be selected for external bricks:



The following example colours can be selected for Roof Tiles:



The following example colours can be used for COLORBOND® roofs:



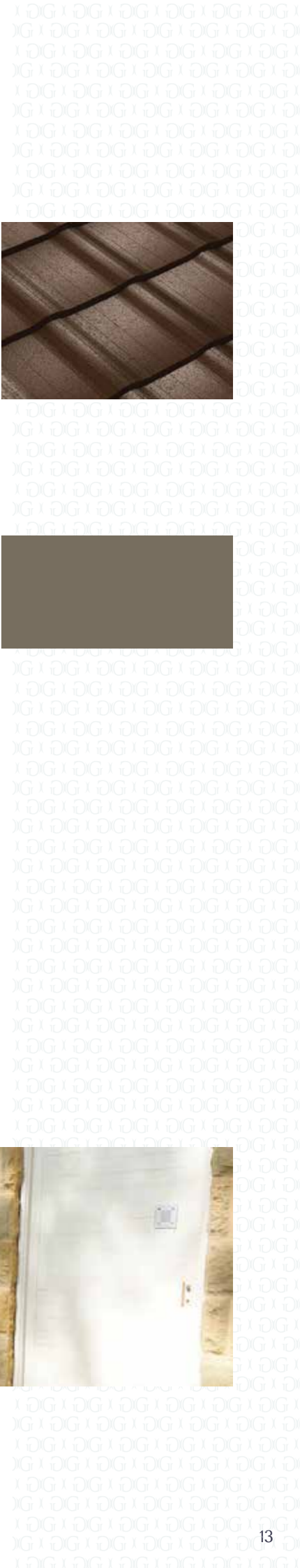
## 2.7 FENCING.

### OBJECTIVE

Fencing must blend with the theme of Grandeur. The developer will be providing fencing along the frontage to Mickleham Road and around the perimeter of the Estate.

### REQUIREMENTS

- Front fencing onto Grandeur Close is not permitted.
- Fencing between lots to be provided by the owner. Must be max 1.8m high brush fencing and must not come forward of the dwelling.





## 2.8 RETAINING WALLS & EARTHWORKS.

On sloped sights, Grandeur encourages the construction of split level dwellings which respond to the topography of the land. This can offer greater exposure to views, the retention of more trees and may increase the utilisation of passive design elements such as access to natural light and cross ventilation.

Earthworks should be kept to a minimum. Split level design and appropriate consideration of siting options should be employed to help achieve this.

Each proposal will be assessed on its merits, however, appropriate use of façade materials and screening via landscaping must be demonstrated.



Where required, retaining walls should be constructed from the same materials as the dwelling's front façade. This would include masonry such as brick, stone or rendered finishes. Sleeper retaining walls may also be permitted where they demonstrate appropriate structural and aesthetic suitability.

Any retaining walls on or near a boundary, and retaining walls 1m high or greater require a building permit. However, it is the owner and/or builder's responsibility to ensure that retaining walls are constructed to all relevant structural standards preventing danger or potential collapse.

Retaining walls visible from the street or public space must not exceed a height of 1.2m. Retaining walls not visible from the street or a public space must not exceed a height of 1.6m.

Appropriate landscaping should be provided to retaining walls to minimise their visual impact.

Examples of acceptable retaining walls:



## 2.9 LANDSCAPING.

### OBJECTIVE

To enhance the attractiveness of Grandeur and to compliment the high quality environment of the existing trees and highly landscaped Grandeur Close.

Landscaping is to be considered from a holistic approach – enriching the entire project in addition to each individual lot.

### REQUIREMENTS

- At least 70% of the gardens areas that front Grandeur Close must be landscaped using trees, shrubs, tufting plants, ground covers or lawn.
- Landscape works for the front yard must be completed within 6 months of the date of issue of the occupancy certificate for each home.
- This time frame allows for planting when the weather is less harsh for plants to establish.
- Existing Trees on each lot are protected by a Tree Projection Zone. Additional planting must compliment any existing trees on the lot.
- Where appropriate, the use of drought tolerant and predominantly indigenous or native species is encouraged.
- Less formal garden designs are encouraged to reflect the semi-rural nature of the area.

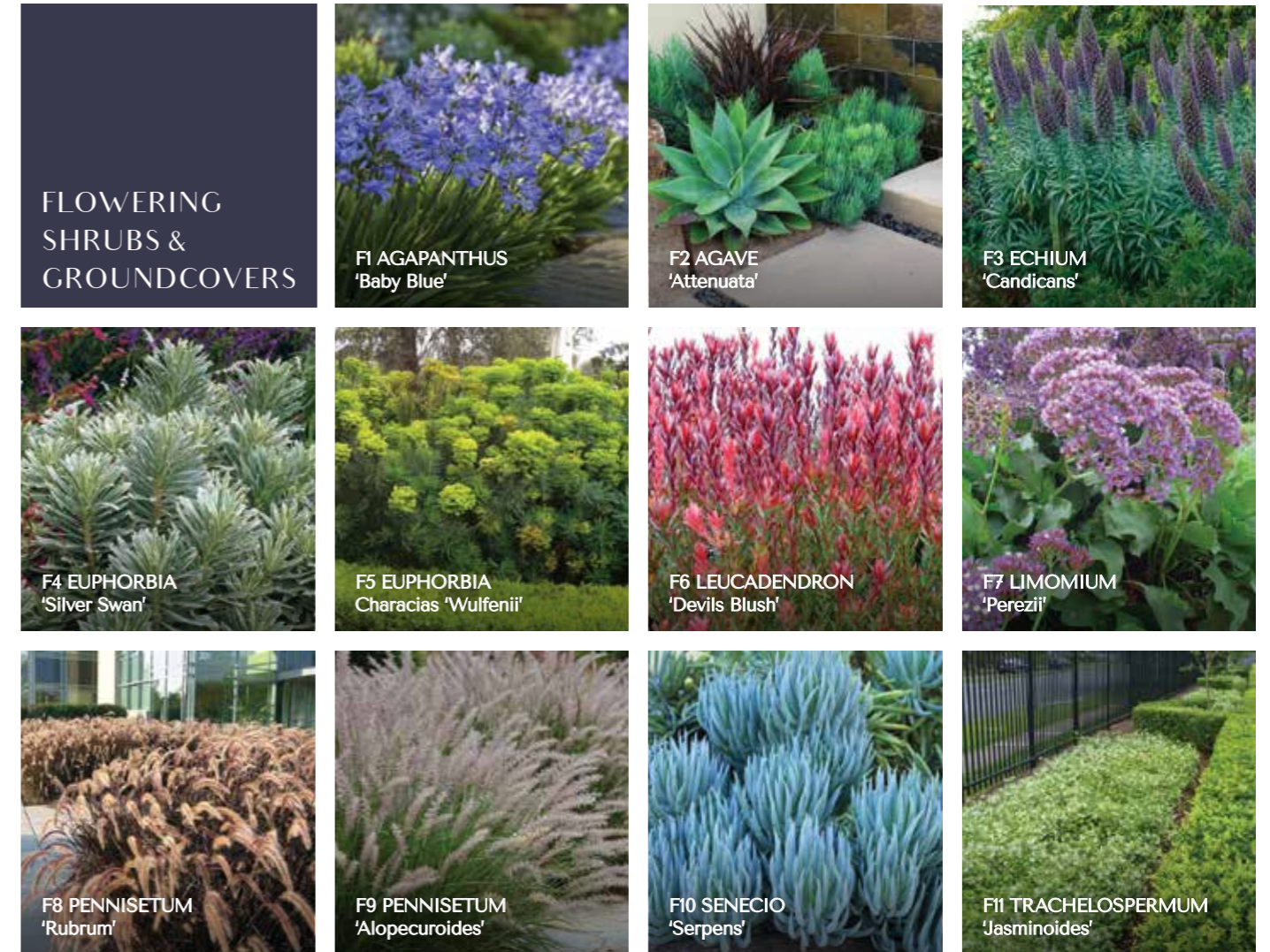
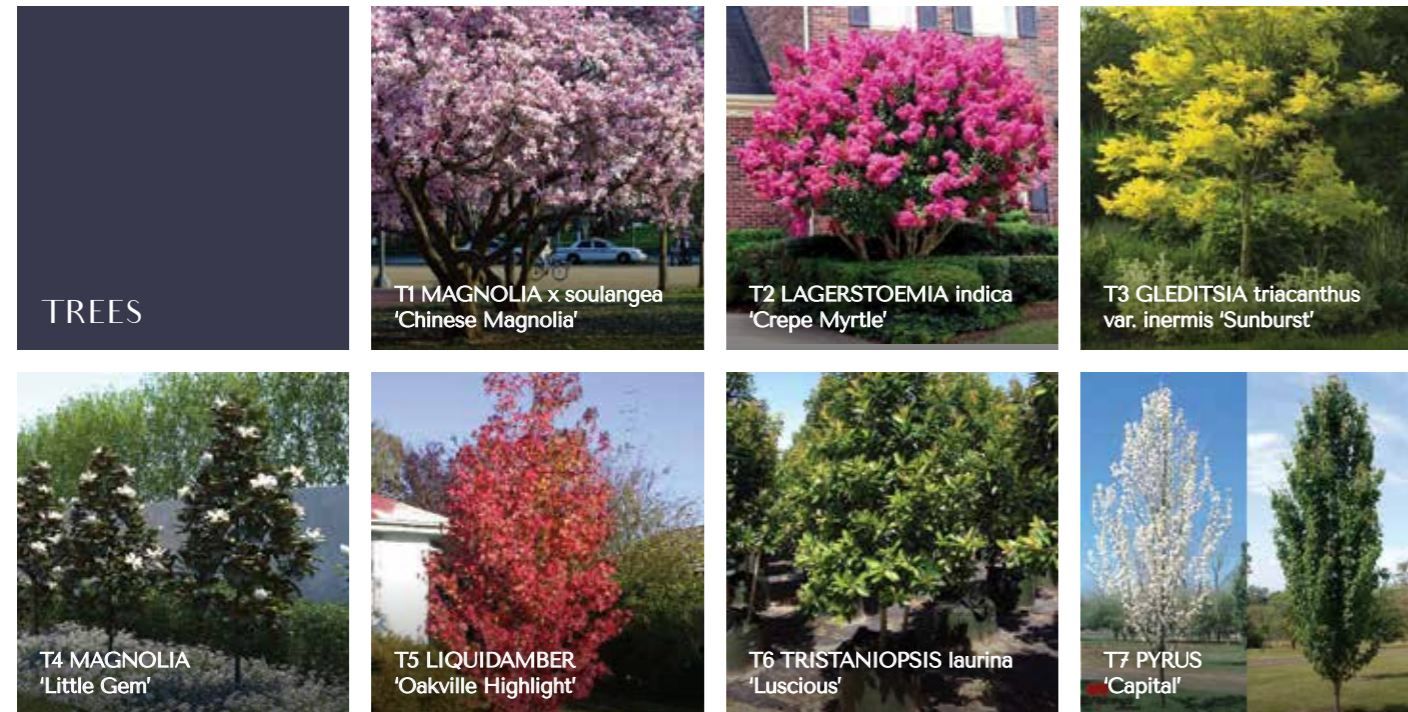


**PLANT LISTS**

In order to gain maximum amenity and environmental benefit from your lot and to provide a landscape treatment that adds to the ecological significance and semi-rural feel of Grandeur and the wider Greenvale area, flora must be selected from the planting list below.

Species indigenous to this locality are preferred as they are more conditioned to local climatic and soil conditions and generally require less irrigation.

**ALLOWED PLANTING LIST**



**2.10 ADDITIONAL EXTERNAL STRUCTURES.**

**AIR CONDITIONERS**

If above the eaves, air conditioning units shall be of a low profile and painted to match the colour of the roof.

**SOLAR PANELS**

Solar panels are encouraged but must not be visible from a standing height of 1.7m where the property meets Grandeur Close. Solar roof tiles may be permitted.

**TELEVISION ANTENNAE AND SATELLITE DISHES**

Generally, only internal or under roof antennae will be permitted. Alternatively, any roof mounted structures must not be visible from a standing height of 1.7m where the property meets Grandeur Close and must extend no more than 2m from the roof line.

**OTHER STRUCTURES**

Clotheslines, hot water systems and gas systems must be located so that they are not visible from Grandeur Close.

GRANDEURGREENVALE.COM.AU

605 Mickleham Road, Greenvale 3059

Call Trevor McCann 0407 043 932

Inspections by appointment only.



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